

**SCIOTO RESERVE MASTER ASSOCIATION
ADDENDUM A**

APPLICATION FOR ALTERATION/MODIFICATION

*Your Alteration/Modification application must be submitted and **APPROVED** before you begin your project*

No application will be approved without adequate information, electronic submittals will not be accepted.

Please complete the following information and submit this with plans, drawings, and processing fee to:

Scioto Reserve Master Association
C/o Capital Association Management Partners
3755 Attucks Drive
Powell, Ohio 43065

NAME _____ **DAYTIME PHONE** _____

ADDRESS _____ **UNIT #** _____

COMMUNITY _____

TYPE OF ALTERATION/MODIFICATION(S) REQUESTED:

_____ Play Structure _____ Fence _____ Patio/Deck

_____ Landscape Improvements _____ Exterior Paint (include paint chips) _____ Other

Project Description: _____

Estimated completion date for project(s): _____

Your application for Alteration/Modification [*has*] [*has not*] been approved.

Signature of Association Agent, or DRB Officer

Date: _____

Note: _____

Please include a \$10.00 review fee with your application made payable to *Capital Association Management Partners*. DRB application reviews take between 10-30 days to complete depending on the quality of information submitted. Approvals are returned directly to the owner via USPS. After you have received approval from the Association, please contact the City of Delaware to receive any required permits, if necessary.

City of Delaware - Permits
Building Department
Delaware, OH 43065
(740) 548-7313

Architectural Review Fee of \$10.00 Received _____

Scioto Reserve Master Association

The Architectural Design Review Board (DRB) reviews site plans, architecture, landscape architecture and site engineering for all new structures and/or modifications of existing structures. No construction of installation shall commence without prior written approval from the DRB. This includes but is not limited to new construction, additions, alterations, decks, patios, terraces, and landscaping.

The following is a schedule of information required at each review:

- \$10 Processing fee made payable to *Capital Association Management Partners*
- Completed copy of the Alteration/Modification Application (first page only)
- Supporting material as described below

Site Plans - Accompanying the application form, you will need a copy of your property's site plan (survey map). If your project includes an addition or modification to your existing property (i.e. deck, fence, additional room, etc.), the dimensions of the project should be indicated on the survey map. This will assist the DRB in comparing the project to your lot, property boundaries, setback restrictions, and any adjacent Association Common Property. Site plans are not required for applications for a change of exterior color, roofing, doors and windows. If a site plan is unavailable, an overview of the property from Google Earth or the Delaware County Auditors site will be accepted.

Drawings - All the work to be performed shall be drawn to scale on the submitted plans. Drawings are to be neat, of professional quality, and should be equal to or better than the drawings shown in the examples that follow. For home additions and enclosed patio rooms/sun rooms, submitted elevations must be drawn on the appropriate and related elevation of the existing house or building in the background or at the side. This is to indicate how the new work will fit with the existing. Roof lines of all new work must show all existing roof lines and be drawn to the same scale.

Examples of work which require drawings include, but are not limited to, decks, building additions, in-ground pools, roof line changes, fencing, playsets and physical landscaping changes. Examples of work not requiring drawings are color changes, modifications to roofing shingles, door and window replacement, and driveway repairs unless the dimensions or locations are altered. For these types of work, photographs must be included in an application.

In addition, the following may be required:

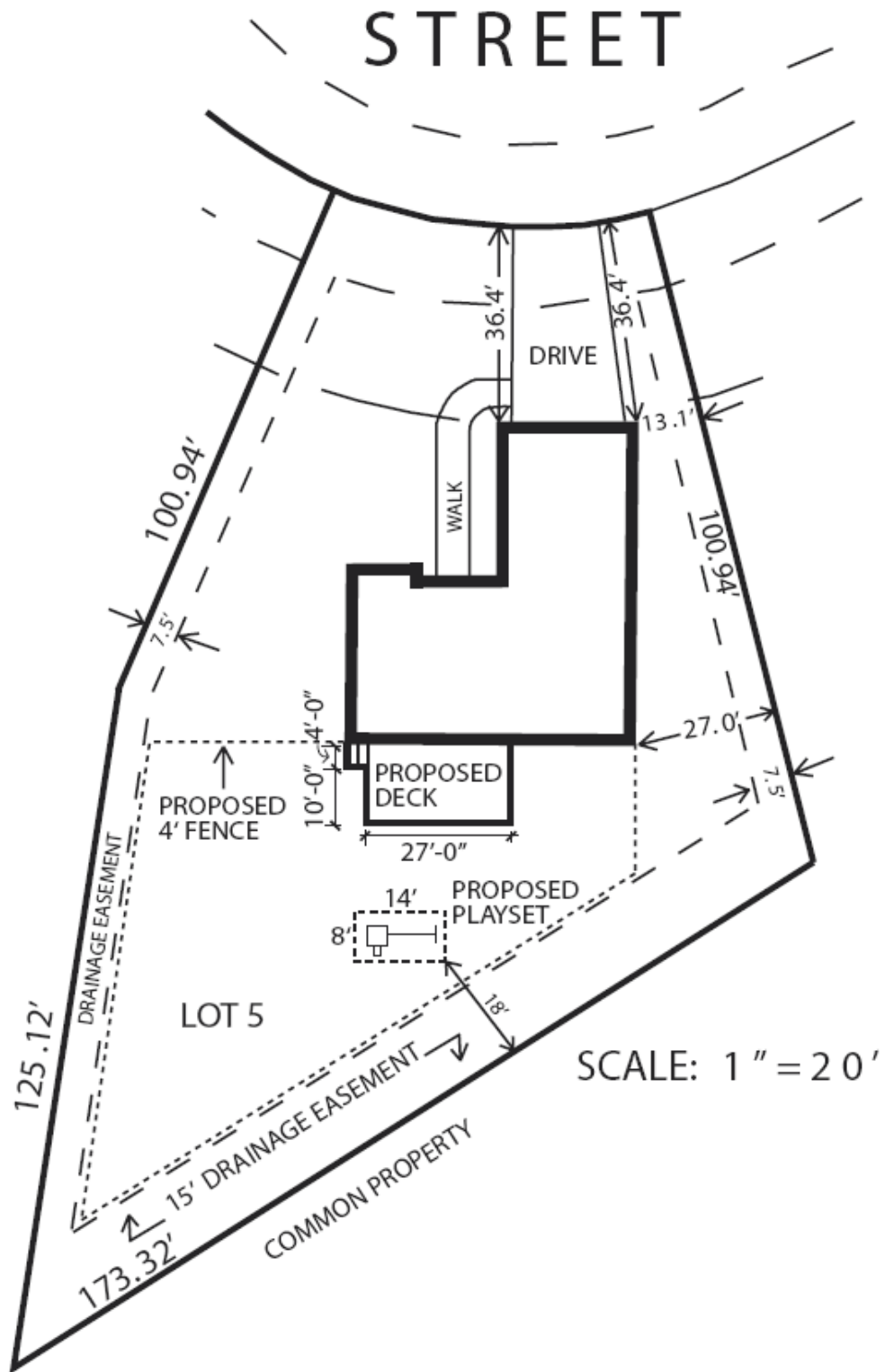
- Specification sheet for all fence requests
- All exterior elevations at minimum showing height dimensions, roof pitches, materials and colors to be used
- Selection of all exterior material manufacturer, color selections and finishes for patio proposals

All Landscape Plans shall include:

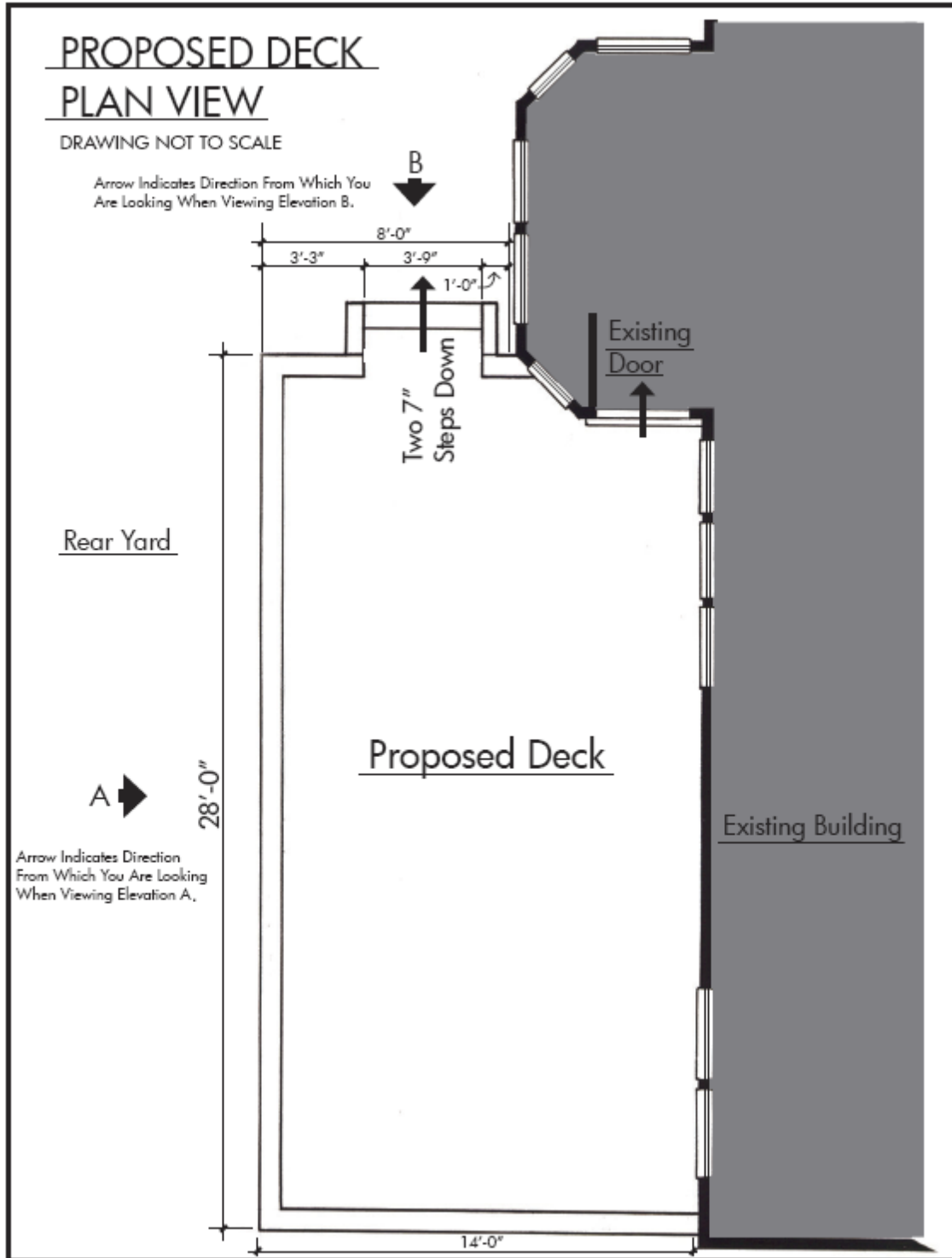
- Hard copy (paper) application must be submitted to our office to keep on file.
- Landscape Plan should show:
 1. Existing and proposed trees
 2. Proposed tree/vegetation removal
 3. Patios, terraces, retaining walls and screen walls with dimensions and height where appropriate
 4. Pool/screen enclosures when applicable.
 5. Pool, air conditioning, and irrigations equipment and method of screening.
 6. Basketball pole location.
 7. Utility meters, air conditioning condensers and method of screening.
 8. Low voltage landscape lighting with fixtures and transformer types and locations.
 9. Location and construction methods, materials, and colors for all paved areas and decks
 10. Playground equipment.
 11. Plant materials list

Site Plan Example (Do not submit example with application)

s.

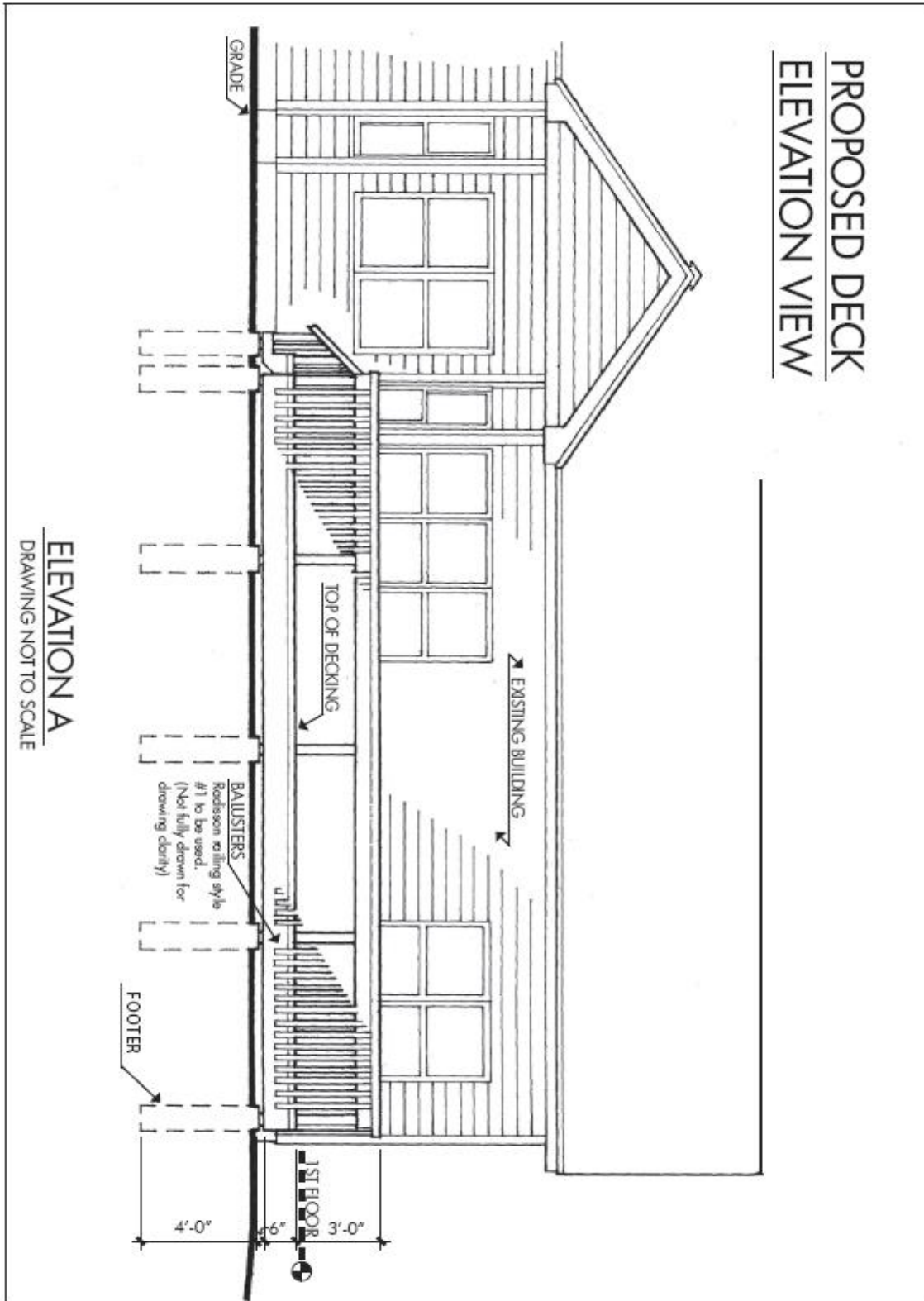


Plan Drawing of Deck Example (Do not submit example with application)



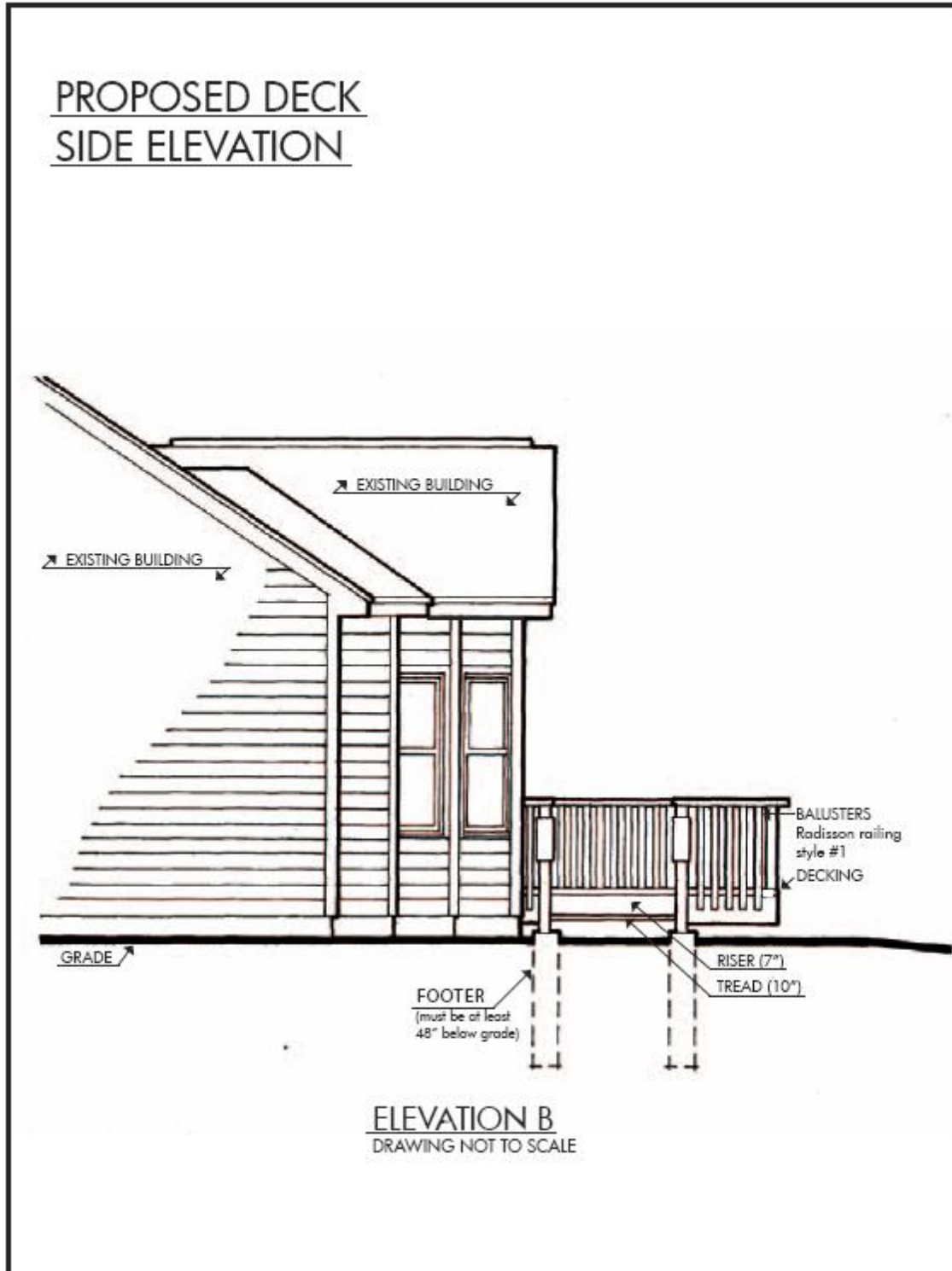
Rear Elevation of Deck Example (Do not submit example with application)

PROPOSED DECK
ELEVATION VIEW



ELEVATION A
DRAWING NOT TO SCALE

Side Elevation of Deck Example (Do not submit example with application)



Additional Requirements for Decks & Patios

Decks

Wood decks must be stained/ painted to compliment the siding or trim of the house. Stain/ paint colors for decks must be a color that is in harmony with the house and the neighborhood. The color must be stated in the application and approved by the DRB.

If the open area surrounding the underside of the deck is greater than 18, the area must be enclosed with lattice, skirting, or landscaping. Lattice or skirting must not contact the ground to avoid discoloration and rotting. Skirting for decks for which any part is over twenty-four (24) inches above grade will be individually reviewed and additional landscaping may be required. All skirting must be set back from the outer edges of the deck at least six (6) inches.

Application is required for all new decks and modifications to existing decks and must contain the following:

- a. Property site plan showing the dimensions, location, and indicating distances from adjacent property lines.
- b. Indicate the elevation of the deck in relation to the elevation of the house flooring. (It is recommended that the level of an open deck be at least two (2) to three (3) inches lower than the house floor.)
- c. Specify of what material decking, railings, and stairs are to be constructed of (natural wood, composite or aluminum balusters). Baluster spacing must be so as not to allow a four (4) inch sphere to pass between the balusters. If using composite decking, provide a catalog cut of the proposed material and railing system for DRB approval.
- d. Steps with more than two (2) treads (3 risers) require railings to be used in conjunction with the step railing. Indicate dimensions of the treads, risers, and total length of the stairs.

Patios

The DRB requires finished projects to have workmanship equal or greater than existing industry standards. The finished patio surface, steps and seating walls must be level, allotting a maximum 0.25 inches per foot variance for surface drainage. If work is not performed to industry standards, the Association may ask to have corrections made.

Immediate area surrounding patio edges must be brought to grade using either the addition of mulch beds or topsoil with seed or sod. Exposed slab sidewalls should not be visible post construction.

In addition, for sections of patio bordered by seating wall, a mulch bed must be added between the wall and the existing grade. Bed must be no smaller than 24" wide, slightly raised and edged. The mulch bed is necessary to visually ease the transition from a stone wall to a flat turf surface. In addition, the bed helps to ease the future maintenance of that transition and also protects the long-term quality of the stone by eliminating the need to string-trim the stone wall.

ADDENDUM B

BASKETBALL HOOPS

Scioto Reserve Master Association will allow basketball hoops on all lots located within the Scioto Reserve development as long as they meet the requirements that have been established herein:

- 1) Basketball Hoop must be applied for and receive approval from Design Review Board prior to installation. Proposed basketball hoops should look similar to the pictures on the below listed websites:
 - a) www.goalsetter.com
 - b) www.goalrilla.com
 - c) www.performancehoops.com
- 2) All basketball hoops are to be pole mounted
- 3) All hoop locations are to be approved by the Design Review Board.

Effective January 2013

Portable basketball hoops are permitted with the approval of the Design Review Board and must comply with the following:

- 1) The portable hoop can not face the road at any time for any reason.
- 2) The portable hoop must be no closer to the street than half the distance from the garage structure and must face the direction of the driveway only.
- 3) The portable hoop must be in good condition at all times, that includes but not limited to properly being placed, basket ball net in good condition, etc.
- 4) The portable hoop must have the appropriate weight used as recommended from the manufacturer. No mulch bags, concrete blocks, wood, tires, etc. is permitted for use to assure pole will not fall over.
- 5) Association may require storage of the portable basketball hoop.
- 6) The portable hoop can not be stored at the end of the driveway.
- 7) The portable hoop must be approved prior to installation and placement.

ADDENDUM C

PLAYSETS

The Scioto Reserve Master Association will allow play sets to be installed on single family lots as long as they meet the requirements that have been established herein:

- 1) Playset must be applied for and receive approval from the Design Review Board.
- 2) Play sets are to be models from **RAINBOW PLAY SYSTEMS, INC.**, **BACKYARD ADVENTURES**, **WOODPLAY PLAYSETS** or a manufacturer deemed to be equal in quality.
- 3) Canopies for golf course lots are to be dark green and replaced as necessary due to weathering.
- 4) All slides for golf course lots are to be dark green. The Design Review Board may grant variances for non-golf course view lots.
- 5) No flags are to be used on the play sets on golf course view lots.
- 6) On lots having any portion of any lot line in common with the Golf Course, play sets may be required to be erected no closer than 20 feet from the adjacent Golf Course property line(s).

For non-golf course lots, the Association requires for approval an all wood play set equal in quality to the play sets listed above. Variables that will be compared include but are not limited to support beam construction, climbing ring installation, weight restrictions, wood part warranty, and lumber treatment. The Association may require a redwood stain to be applied to non-Woodplay play sets.

ADDENDUM D
COLOR SPECIFICATIONS

The approved paint/stain is available through Sherwin Williams located at:

7474 Guard-Well Street
Powell, OH 43065
(740) 881-3185

For mailboxes: Please be sure to ask for *Scioto Reserve Mailbox Green*.

For Split Rail Fences: Please be sure to ask for *Scioto Reserve Fence Green*

For Archtop Fences: Please be sure to ask for Woodscapes *Redwood SW 3501*

Please be sure to ask for 'Scioto Reserve' Green when ordering the custom paint/stain.

ADDENDUM E

FENCE SPECIFICATIONS

There are four fences approved for installation in the Scioto Reserve community:

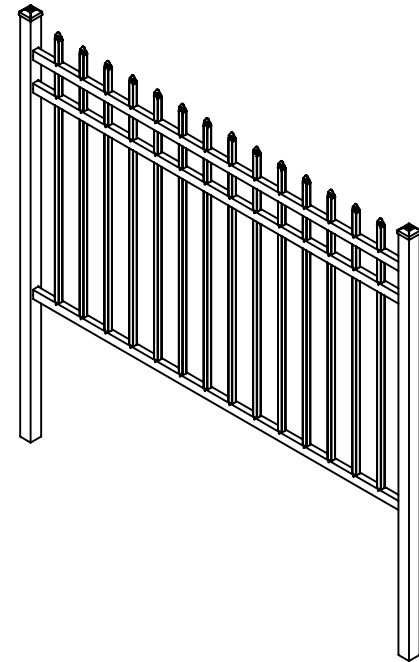
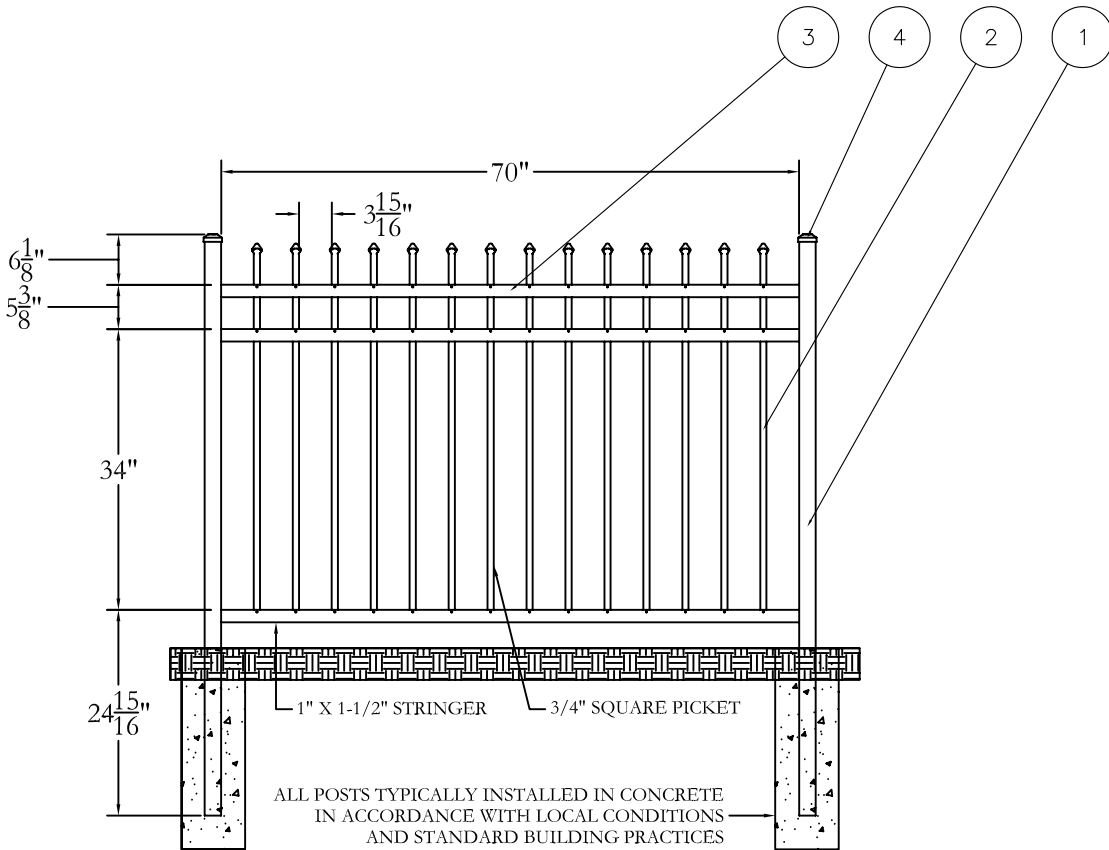
- 1) The Buckingham Style (aluminum)*
- 2) The 202 Old-style (aluminum)*
- 3) The Three-rail (wood)
- 4) The Scallop-top (wood)

**A Jerith manufactured fence is not required, however matching specifications are required.*

The style of fence being applied for must be included with your application and any planned deviation from the specifications that follow must be clearly stated and requested as a variance in the application. A specification sheet for the fence being applied for must be included with each application. The spec sheet can be supplied from the fence vendor, or may be one of the following:

FENCE PARTS		
Name	Qty	Item
2" POST	2	1
BUCK-48 PICKET	14	2
71-1/2" - 14 HOLE POOL STRINGER	3	3
2" ALUMINUM POST CAP	2	4

ZONE	REV	DESCRIPTION	DATE	APPROVED
-	NC	INITIAL RELEASE		



Jerith[®]
 Manufacturing Co., Inc.
 Philadelphia, PA 19154
 (800)344-2242

DRAWING:
 BUCKINGHAM FENCE
 48" HEIGHT

© 2005. This drawing may not be altered or reproduced without the permission of Jerith Manufacturing Co., Inc.

SIZE D	DWG NO. RG48UBSN	REV NC
SCALE	DATE 1-1-04	SHEET 1 OF 1

FENCE PARTS		
ITEM	QTY	NAME
1	15	R202 - 48" PICKET
2	2	2" ALUMINUM POST CAP
3	1	72" - 15 HOLE RESIDENTIAL HEADER
4	2	2" POST
5	2	72" - 15 HOLE RESIDENTIAL STRINGER

ZONE	REV	DESCRIPTION	DATE	APPROVED
-	NC	INITIAL RELEASE		

D

C

B

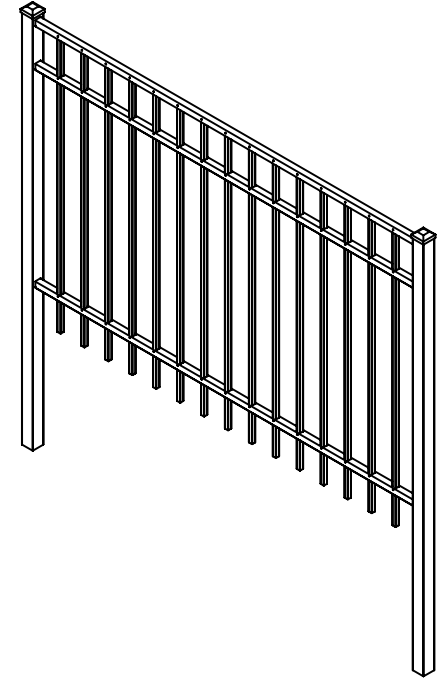
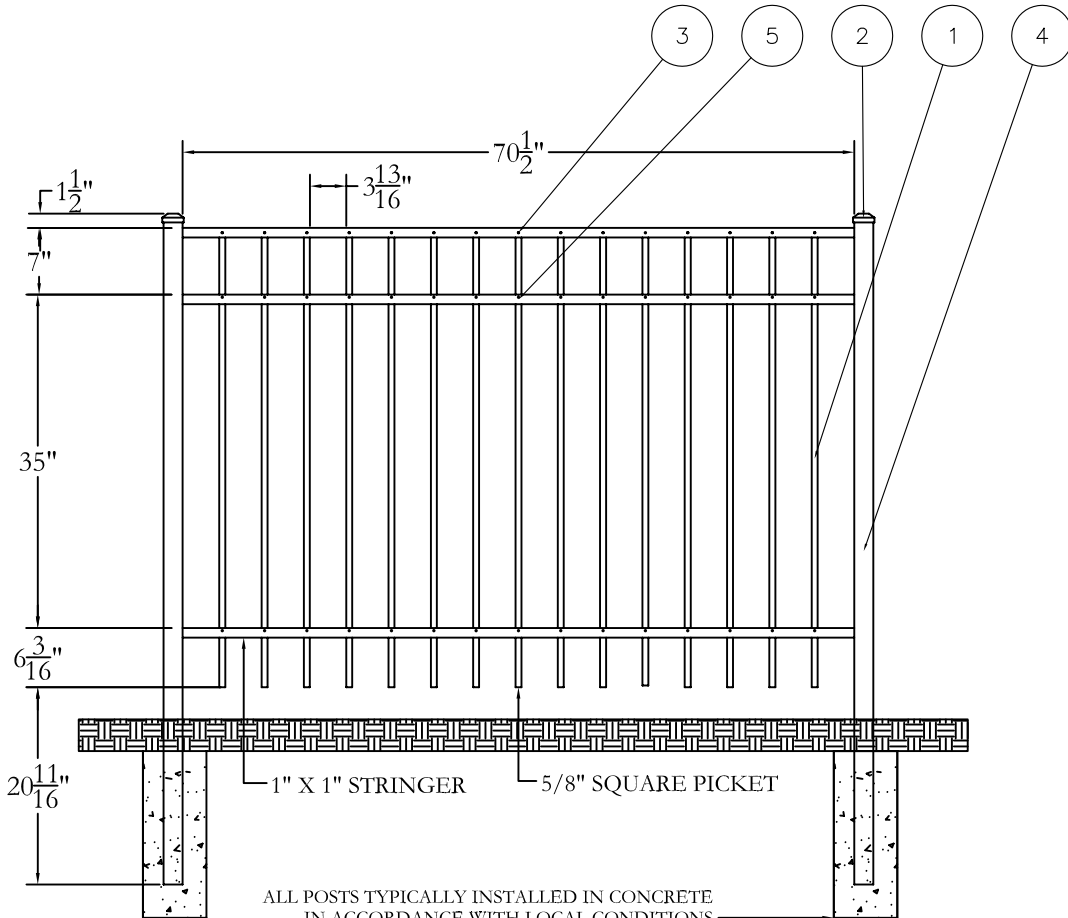
A

D

C

B

A



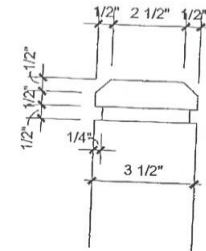
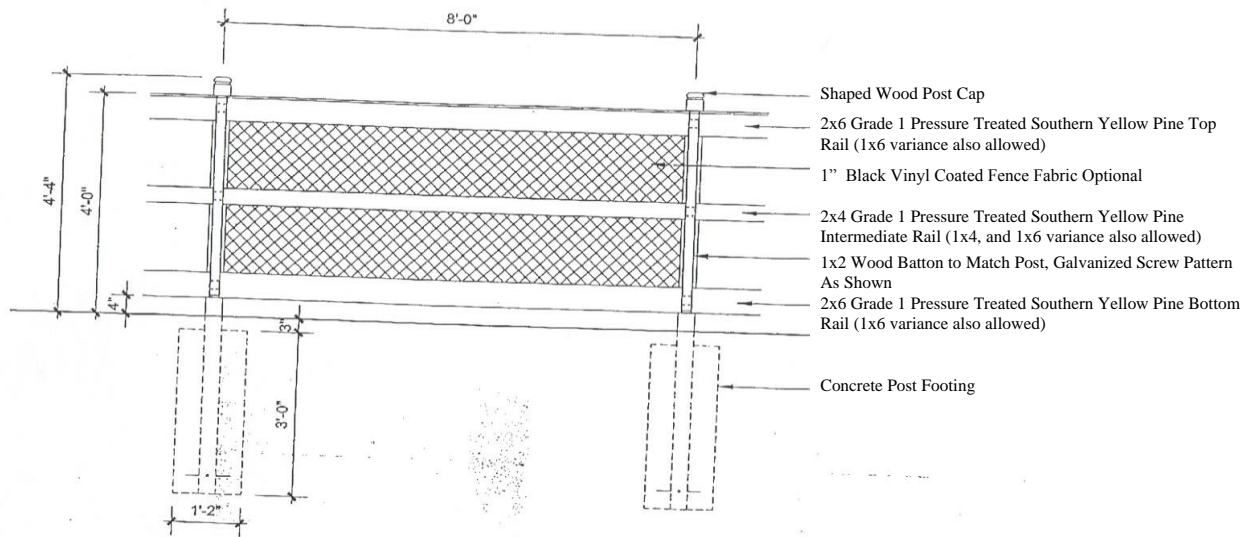
Jerith[®]
 Manufacturing Co., Inc.
 Philadelphia, PA 19154
 (800)344-2242

DRAWING:
RESIDENTIAL FENCE
STYLE #202 - 48" HEIGHT

ALL POSTS TYPICALLY INSTALLED IN CONCRETE
 IN ACCORDANCE WITH LOCAL CONDITIONS
 AND STANDARD BUILDING PRACTICES

© 2005. This drawing may not be altered
 or reproduced without the permission of
 Jerith Manufacturing Co., Inc.

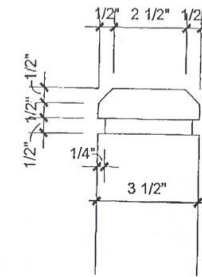
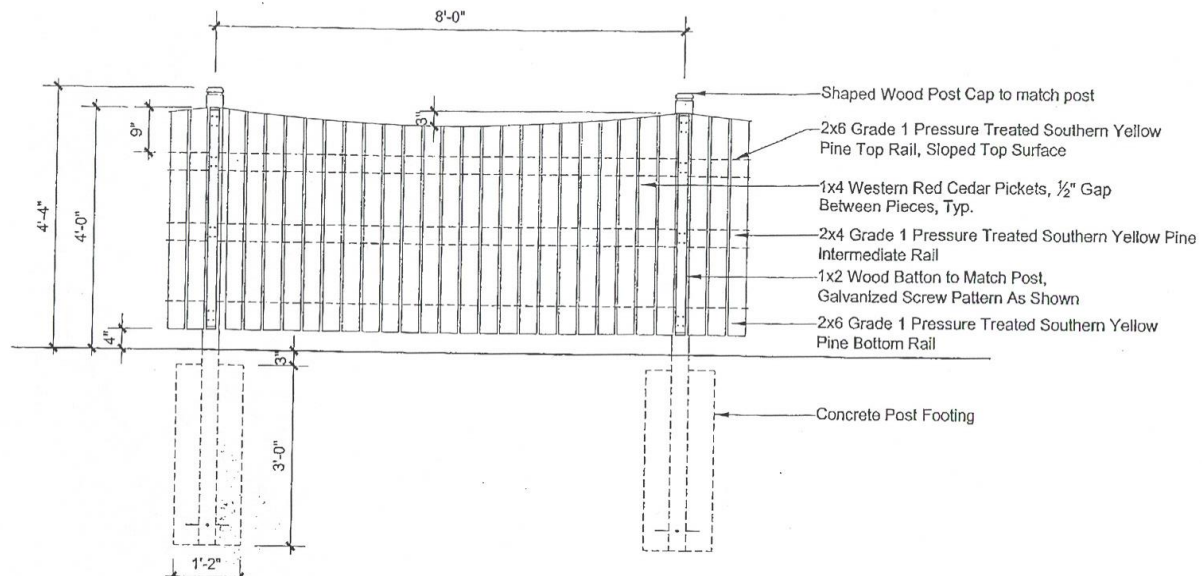
SIZE D	DWG NO. RS48U202SN	REV NC
SCALE	DATE 3-1-04	SHEET 1 OF 1



2 Post Cap Detail
3"=1'-0"

General Notes:

1. All surfaces to be approved stain/paint as noted in Addendum D.
2. Rails and Post to be grade 1 pressure treated southern yellow pine.



2 Post Cap Detail
3"=1'-0"

General Notes:

1. Variances will be granted on picket width; however, gap width must be 1/2".
2. Rails and Post to be grade 1 pressure treated southern yellow pine. Pickets are to be western red cedar.

ADDENDUM F

STREET TREES

The original Scioto Reserve Subdivision Declarations called for only 'Green Mountain Sugar Maples' to be planted throughout the entire subdivision. However, throughout the development process, different builders were granted variances which allowed them to use different varieties of Maples as well as some Oaks in certain areas. While these variances should have been isolated to entire streets, there are a few areas throughout the community where both Oaks and Maples were planted side by side.

To account for this variance, in an attempt to maintain some sort of consistency, and in an effort to address the long-term aesthetics of the interior streets, the Master Association requires that when a street tree is to be replaced, it must be replaced with an approved variety matching that of its neighboring street trees. The four approved varieties of Maples throughout the community are: Green Mountain Sugar Maple, Norway Green/Emerald Luster, Autumn Blaze Freeman Maple, Pacific Sunset Norway Maple. The approved varieties of Oaks are Shumar White Oaks and Red Oaks.

On streets where Oaks and Maples are planted side-by-side the replacement species and variety will be decided ultimately by the Design Review Board (DRB). The DRB will take homeowners request into consideration as well as any history regarding the health of the previous tree when making this decision.

All street tree replacements must be 3" caliper at the time of planting.


(It should be noted that given the environmental conditions (high clay soils, high radiant heat from pavement, high salt, high winds, etc.) existing along interior streets, Autumn Blaze Maples have experienced the highest success rate after replacement.)

ADDENDUM G

TRAMPOLINES

- Must be equal in quality to the AlleyOop Variable Bounce or Springfree manufacturers
- Trampolines may be required to be set back a minimum of 20' from rear lot line for golf course lots
- Trampolines will only be approved for lots with level back yards. At no time will an owner be allowed to prop up trampoline supports with wood, bricks, or other materials.
- If at any point the trampoline begins to become weathered, or if the owner fails to maintain underneath or the area surrounding the structure, the Association retains the right to revoke the approval.

AlleyOop VariableBounce

 <p>AlleyOop Sports PowerBounce Trampoline</p> <p>(Shown with Optional Ladder Sold Separately)</p> <p>Actual colors may vary from what is shown.</p>				<h4>Product Summary</h4> <p>Highs: The VariableBounce is has a heavy duty frame and safety pad. There is good integration between the trampoline and the safety enclosure. It also features high quality materials and construction. Colors are very pleasant and will blend in nicely in many settings.</p> <p>Lows: Feel is a little stiffer than the other AO products that we tested. Installation time is longer than average.</p> <p>Specs: 14' diameter round bed, 2 mm thick steel frame, 96 (8.25") springs, fail-safe overlapping entry door</p> <p>Packaging: Three boxes weighing 145,101, and 102 lbs.; four boxes with PowerBounce with the fourth box weighing 38 lbs.</p> <p>Overall Opinion: This is a great product! This product does not offer the range of flexibility of the DoubleBounce product, but it is a good choice if your jumpers are older. The PowerBounce option has a significant effect on the feel of this trampoline and may be very desirable for heavier jumpers.</p>
Overall Score	80/100	Warranty		
Safety	⊕	Frame	20 yrs	
Performance	⊕	Mat	5 yrs	
Design	⊕	Springs	5 yrs	
Features	⊖	Pad	3 yrs	
Cost of Ownership	\$43/yr	Encl. Poles	20 yrs	
Price Range	\$1199-\$1399	Encl. Net	5 yrs	

Trampoline

The AlleyOop VariableBounce frame is made of heavy duty steel tubing, a full 2.0 mm thick. This, together with the durable galvanized and then green powder coated frame, give it a top notch appearance. The springs are 8.25" long and tapered. The pads feature 1" thick closed cell foam, and come with a very durable PVC cover. We were quite impressed with the weight of these AO pads and found them to be 2 to 3X heavier than pads on other 14' round trampolines.

Safety Enclosure

One of the more notable features of the enclosure is the **signature overlapping entry door**. This allows jumpers to easily enter and exit the trampoline, without having to worry about closing a zipper or fussing with snaps or clips. The net itself is a **large aperture design, made from a high quality weave** that is strong yet soft to the touch. The safety enclosure is well integrated with the trampoline, making the pole installation a snap. One of the innovative features is the ball cap design, which not only provides protection against injury from the user, but provides a handy connection point for the top strap that supports the net. It is important to follow the installation instructions closely, since the placement and adjustment of the net is key. The installation involved weaving several bungees and nylon straps to attach the net, which is time consuming but relatively easy. Our testing showed that this design held up well under the most demanding impacts. The enclosure netting and poles worked together to absorb the energy of impact, and direct the jumper back onto the mat. **Due to the massive frame, even a hard impact had little risk of tipping the trampoline.**

ADDENDUM H
EXTERIOR LIGHTING



QZ NY8316



QZ NY8317



QZ NY9042



QZ NY9043



SI-390-PC-ORB

Owners may purchase exterior house lights and post lamps through Capital Lighting at 614-841-1200 or any other retailer provided the lights and post lamps are the same model.

ADDENDUM I

TRASH RECEPTACLE SCREENING

All trash can screening must be applied for and will be approved on an individual basis. All screening must be two sided. Applied for screening structures should resemble the examples below:

